



PORT BLAKELY
COMMUNITIES

Integrity and Innovation since 1864

P: 425.391.4700 F: 425.391.9028
1775 Twelfth Ave. NW, Suite 101 Issaquah, WA 98027
www.portblakely.com

DOCUMENT TRANSMITTAL

Date 2/21/2006

From: Erin Chamberlain

To Michelle Feldman

Phone: 206-225-2315

Company: Port Blakely

Fax:

Address: 1775 12th Ave. NW, Suit

Issaquah WA 98027

Title / Subject: Grand Ridge Drive Septic Permit - Lot 1

Action: For Your Use

Notes: Michelle, Attached is the original approved septic permit for Grand Ridge Lot 1 for your distribution. Please contact me with any questions.
Thank you!

CC Notes: File (1 copy of permit).

Public Health, Seattle and King County

Site Design Application Form for Individual On-Site Sewage Disposal System (OSS)

(Submit 5 copies of application with 4 copies of plans)

Record I.D. Number
ON 0673302
Department Use Only

Proximate Address:

26581 SE GRAND RIDGE DRIVE

ATTACH A DETAILED ROUTE/DIRECTION MAP FOR LOCATING THE PROPERTY.

THIS IS NOT A PERMIT

Name and address of property owner GLACIER

Applicant Name

GLACIER PARK L
Last First

Street Address

1775 12th AVE NW #101

City-Zip Code

ISSAQUAH 98027

Phone

425 391 4700

Designer

CONCEPT ENGINEERING INC

Street Address

455 KIMMER BLVD N

City-Zip Code

ISSAQUAH 98027

Phone

425 392 4055

THIS IS NOT A PERMIT

PROPERTY INFORMATION:

(AKA, LOT 1, GRAND RIDGE DRIVE)

Legal Description Attached ☒

Parcel # (APN) 2524069014 Section: 25 Township: 24 Range: 06

Subdivision Name: BLA L04 L0037 Lot: 6 Block:

Property Size 102780 Sq. ft. Acreage: 2.35 **UNLAWFUL TO OCCUPY PREMISES UNTIL SEPTIC SYSTEM**

Distance from property line to nearest sewer:

Water Supply ☒ (IP) I = Individual ☒ Group A Supply ☐ Group B Supply

Public Water Supply Name: PART BLA L04 L0037 ID#

Sensitive Area: ☒ (Y?N) If yes, specify (L,W,O) L = Landslide W = Wetlands O = Other

SYSTEM INFORMATION:

System ☒ Repair Design ☒ Correction of OSS Failure? ☒ Y?N Detailed Plans Attached (4 sets) ☒ Y?N

Type of Building SF = Single Family MF = Multiple Family COMM = Commercial INST = Institutional

Type of System Proposed: G = Gravity GP = Gravity with pump M = Mound SF = Sand Filter
PD = Pressure Distribution HT = Holding Tank CT = Composting Toilet E = Experimental O = Other

Dates Soils Logged: 102805 Soil Logs Data Attached: (Min. 4/lot) ☒ Y?N

Depth to Watertable or Restrictive Layer: 36 Inches Maximum Slope in Drainfield/Reserve Area 20 %

CALCULATIONS:

Number of bedrooms: 5 Total Gallons/Day (450 minimum): 696 Gal. Soil Texture Type (1A-5) 4

Application Rate: 0.6 Gal/sq ft/day Total Absorption Area: 1150 Sq. ft. Trench Width 24 inches

Total Drainfield Length: 575 Ft. Septic Tank Size: 2000 Gal. Garbage Grinder ☒ Y?N

Pump Chamber Size (if needed) 1500 Gal. Trench Depth (min/max): 061 12 inches

I understand that failure to comply with the Code of King County Board of Health Title 13 may result in the disapproval of the sewage system being proposed in this application. Non-compliance may also lead to revocation of my Designer's Certificate of Competency and/or appropriate legal action by the Health Department.

Designer's Signature: James E. Deaton ID# 5100136 Date: 11/9/05

FOR HEALTH DEPARTMENT USE ONLY:

NOTE: SYSTEM MUST BE INSTALLED BY A KING COUNTY CERTIFIED INSTALLER UNLESS OTHERWISE PROVIDED BY CODE

APPROVED (date): 2/14/06 BY: D. Vopent

Comments

Pre-construction meeting required between designer, installer, builder prior to permit issuance

APPROVAL OF THIS DESIGN APPLICATION IS BASED SOLELY ON INFORMATION PROVIDED IN THIS APPLICATION AND DOES NOT CONSTITUTE PERMISSION TO BEGIN CONSTRUCTION OF THE PROPOSED SEWAGE DISPOSAL SYSTEM OR ANY OTHER IMPROVEMENTS ON THE SITE. THIS APPLICATION SHALL NOT BE CONSIDERED AN ASSURANCE, EITHER EXPRESSED OR IMPLIED, THAT DEVELOPMENT PERMITS FOR THE SITE WILL BE ISSUED. THIS APPLICATION EXPIRES TWO YEARS FROM DATE OF APPROVAL.

DISAPPROVED (date): BY:

See attached Site Deficiency Sheet.

Any person aggrieved by any decision or final order of the Health Officer may file a written application for appeal to Health Officer within 60 days of the date of the above decision. (Title 13, K.C.B.O.H. Chapter 13.12 - Sewage Review Committee). CS 13.15.97 Rev.7/21/00

RECEIVED
NOV 10 2005
EASTGATE
ENVIRONMENTAL HEALTH

Public Health – Seattle & King County
Environmental Health Division

DESIGN CHECKLIST
ON-SITE SEWAGE SYSTEM (OSS)

The following checklist is a guide to assist the designer in submitting a complete site design application. A properly prepared site application must include the items listed below along with any additional details and specifications required by applicable provisions of The Code of the King County Board of Health – Title 13. ~~The designer must insure that all materials and documents submitted are legible and properly collated. A minimum of four complete design applications/sets must be submitted.~~

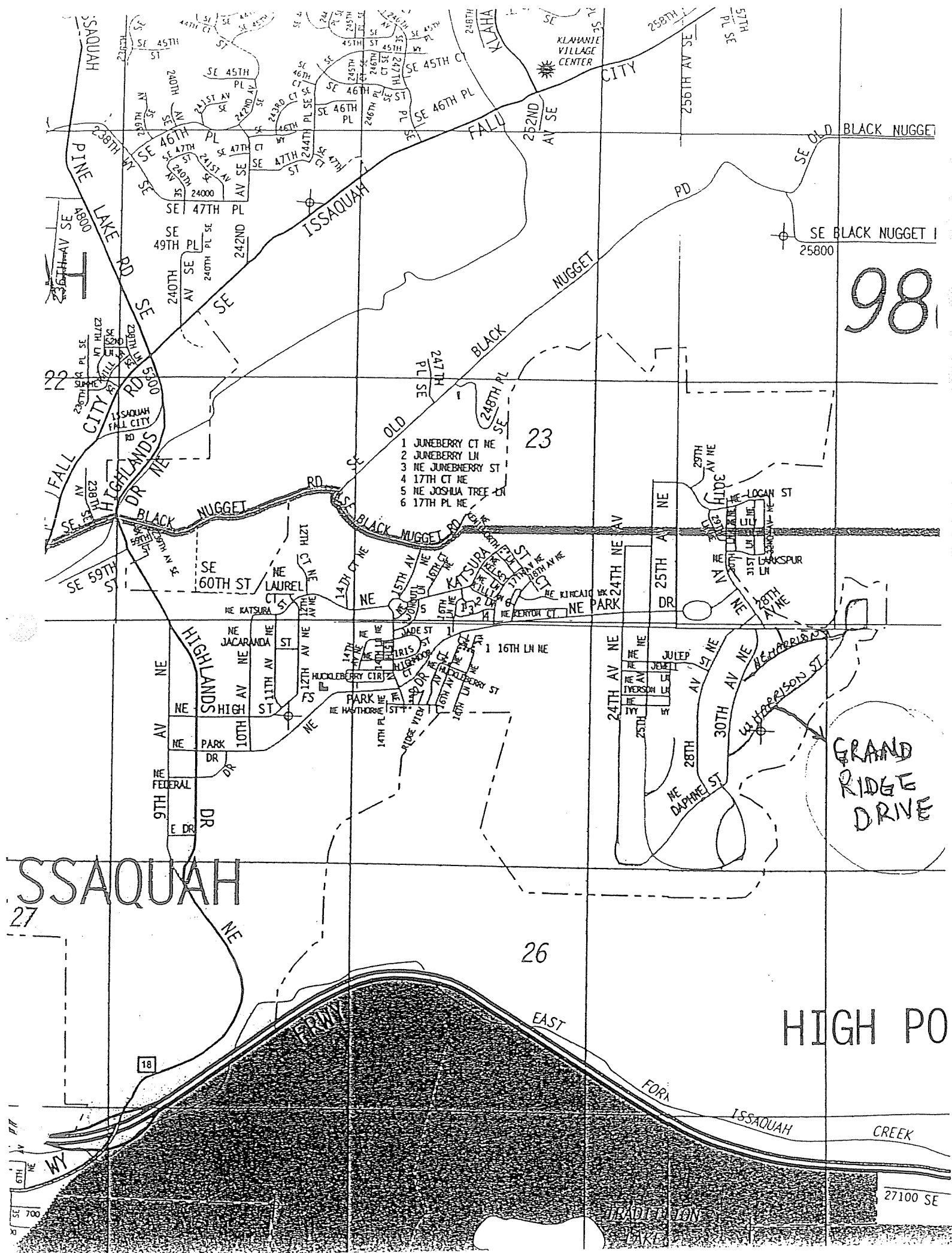
SITE ADDRESS: 26581 SE GRAND RIDGE DR

PARCEL NUMBER: 2524069014

SITE DESIGN APPLICATION FORM		Yes	No
<input type="checkbox"/>	The form is complete, submitted in quadruplicate, and accompanied by the appropriate fee. <i>Data on all copies must be legible.</i>	✓	
<input type="checkbox"/>	Reference maps are provided (vicinity, location and routing to site)	✓	
SOIL AND SITE EVALUATION			
<input type="checkbox"/>	Soil logs (minimum of 4 per site) – properly located, sized, constructed and maintained (i.e. to preclude safety hazards) - are installed	✓	
<input type="checkbox"/>	An accurate description of soil conditions is provided	✓	
<input type="checkbox"/>	Texture, structure, compaction and affect on treatment and water movement potential is indicated	✓	
<input type="checkbox"/>	The USDA (SCS) soil classification is used	✓	
<input type="checkbox"/>	Description of structurally deficient soils (if present) is included	—	
<input type="checkbox"/>	Description and location of sensitive areas (if present) is included	—	
<input type="checkbox"/>	All encumbrances affecting OSS placement have been identified		
<input type="checkbox"/>	wells, other water sources, water supply lines		
<input type="checkbox"/>	seasonal water		
<input type="checkbox"/>	surface water		
<input type="checkbox"/>	abandoned wells		
<input type="checkbox"/>	restrictive layer and/or bedrock outcrops		
<input type="checkbox"/>	existing buildings, property lines		
<input type="checkbox"/>	drainage structures (e.g. footing drains, curtain drains, drainage ditches)		
<input type="checkbox"/>	cuts, banks, and fills		
<input type="checkbox"/>	driveways and parking areas		
<input type="checkbox"/>	existing OSS		
<input type="checkbox"/>	underground utilities		
<input type="checkbox"/>	others not listed above		
PARCEL PLOT PLAN			
<input type="checkbox"/>	A 1"=20' scale or larger scale is used. The parcel plot plan is presented on paper that is 11" x 17" or smaller.	✓	
<input type="checkbox"/>	A North arrow is indicated on the plan	✓	
<input type="checkbox"/>	The location and description of design control point(s) are indicated	✓	
<input type="checkbox"/>	Property and easement lines are shown, (specific lengths are indicated)	✓	
<input type="checkbox"/>	Topographical contours at 2' intervals are shown	✓	
<input type="checkbox"/>	Direction of surface drainage is shown	✓	
<input type="checkbox"/>	Size of building is indicated	✓	
<input type="checkbox"/>	The maximum building footprint area(s) is/are shown	✓	
<input type="checkbox"/>	The plans shows existing structures present (on site)	✓	
<input type="checkbox"/>	Plan shows the location of wastewater tank(s)	✓	
<input type="checkbox"/>	Primary and reserve SAS are shown on the plot plan	✓	
<input type="checkbox"/>	The boundaries of the SAS detail drawing are indicated	✓	
<input type="checkbox"/>	All installed soil logs are shown on plan	✓	
<input type="checkbox"/>	The plan shows the location of existing or proposed potable water source	✓	
<input type="checkbox"/>	If present, neighboring wells within 100 feet; and other sources within 200 feet are shown		

Design Checklist (Cont.)

	Yes	No
CONSTRUCTION PLANS AND SPECIFICATIONS		
The plumbing stub elevation is indicated	✓	
Vertical section detail drawings are provided	✓	
The Dimensions of wastewater tank details are provided	✓	
Minimum and maximum elevation of installation is specified	✓	
Maximum depth of cover to be placed over tank(s) is indicated	✓	
The seasonal groundwater table elevation at the tank locations is Acceptable	✓	
The depth of required bedding material is specified		
Minimum and maximum drainfield width specified	✓	
Minimum and maximum drainfield depth specified	✓	
Vertical separation is indicated	✓	
The amount of cover material and details for placement is indicated	✓	
Other OSS components to be constructed at the site are included	✓	
Construction plans show pre-installation protection of areas designated for OSS components and any down slope effluent absorption area	-	
Construction specifications are included for sand-based treatment system on non-level/restricted site	-	
SOIL ABSORPTION SYSTEM (SAS) DETAIL DRAWING		
The drawing uses/represents a 1"=20' scale. Maximum paper size is 11"x17"	✓	
Design control points are depicted	✓	
The drawing shows the location and dimensions of all components of the primary and reserve systems	✓	
Trench widths are shown	✓	
Trench lengths are shown	✓	
Horizontal separations are indicated	✓	
Slopes in primary and reserve areas and of location proposed for sand-based treatment component (e.g. sand filter) are indicated	✓	
The design includes specifications for reserve components (i.e. when the proposed elevation of the reserve area is above the septic outlet)		
The drawing specifies setbacks to proposed or existing water lines	✓	
PROPOSED NON-WASTEWATER DRAINS		
Application includes construction details for and location of:		
Footing drains	✓	
Curtain drains		
Interceptor drains		
DOSING SYSTEM SPECIFICATIONS		
Primary pump chamber specifications are indicated	✓	
Secondary pump chamber/pumpwell dosing specifications are indicated		
WATER SUPPLY		
A valid water availability letter (if applicable) is included	✓	
The water supply is sited in an approved location		
Source protection covenant(s) is/are recorded		
The quality of the water is in compliance		
The quantity produced by the source is in compliance		
OTHER		
The design meets applicable guidelines and/or Health Department policy and procedure	✓	
Applicable covenant(s) are recorded per code		
Non-single family proposals		
Covenants indicating that property will remain under one ownership is/are recorded		
The sewage entering the OSS meets the criteria as non-industrial Wastewater		
The OSS effluent contacting the infiltrative surface will have typical residential characteristics		
Plans for system operation monitoring and maintenance are included (Title 13, Chapter 13.60)		



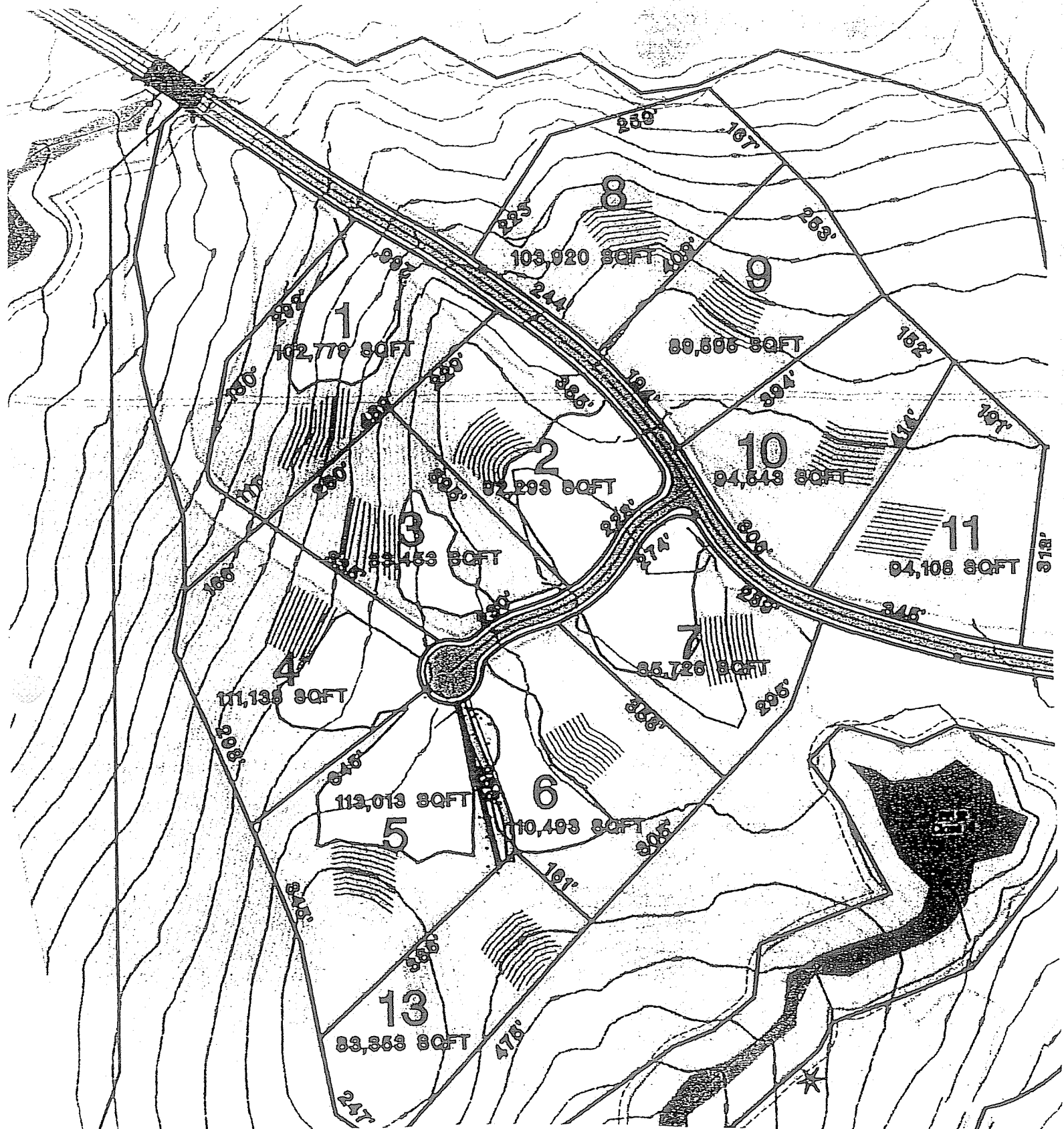
MetroScan Full Legal

APN:252406 9014

STR 252406 TAXLOT 14 "LOT 6" KING COUNTY BOUNDARY LINE ADJUSTMENT NO
L04L0032 REC NO 20041013900008 WCH IS POR OF SOUTH 1/2 OF STR
24-24-06 & SEC 25-24-06

AKA PARCEL 'L' KCBLA L990008

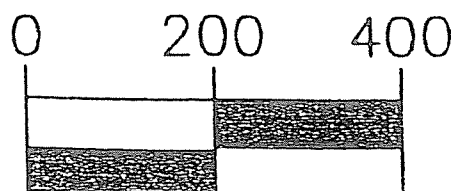
AKA. LOT 1, GRAND RIDGE DRIVE



GRAND RIDGE
LOT LAYOUT
#s 1 → 11



GRAPHIC SCALE



(IN FEET)

1 inch = 200

Date forwarded: Tue, 23 Aug 2005 17:38:40 -0700
From: "Bottheim, Steve" <Steve.Bottheim@METROKC.GOV>
To: "'bruce@concepteng.com'" <bruce@concepteng.com>
Subject: Grand Ridge Drive BLA lots.(SE Rural Parcel Nos)
Date sent: Tue, 23 Aug 2005 17:40:21 -0700

Bruce-

In accordance with the Three Party Grand Ridge Joint Agreement signed in December 2004 (see attached), the subject lots are vested to pre-CAO standards and to the critical areas and buffer dimensions depicted in Appendix J. The following eighteen(18) BLA parcels are vested to the previous sensitive areas requirements and are exempt from Critical Areas Designation requirement for Health Dept. submittals:

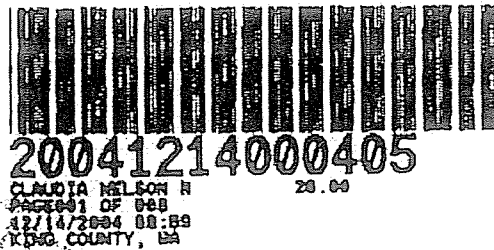
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252406-9099

Please feel free to contact me should you have questions or concerns.

Stephen Bottheim, L.G.
Environmental Scientist IV

Land Use Services Division
Department of Development and Environmental Services
900 Oakesdale Avenue SW
Renton, WA 98055-1219
steve.bottheim@metrokc.gov
206-296-7144 Fax 206-296-7051

After Recording Return To:
Port Blakely Communities
1775 12th Ave. NW, #101
Issaquah, WA 98027
Attn: Claudia Nelson



NOTICE OF ZONING, HEIGHT AND SETBACK STANDARDS
[Grand Ridge Drive]

Grantor(s):	Grand-Glacier LLC, a Washington limited liability company
Grantee(s):	Public
Abbreviated Legal Description:	Portion of Sections 24 and 25, Township 24N, Range 6E, W.M., King County Washington
Additional Legal Description	See <u>Exhibit A-1</u> attached.
Assessor's Tax Parcel Nos.:	See <u>Exhibit B</u> attached.
Reference Nos. of Related Documents:	9606180756 (Three Party Agreement)

THIS NOTICE is executed effective December 10, 2004, by GRAND-GLACIER LLC, a Washington limited liability company ("Grand"), to set forth certain standards for development of lots within property commonly known as "Grand Ridge Drive," as legally described on Exhibit A-1 and shown on Exhibit A-2 attached hereto ("Property"). Development of the Property is governed in part by the Grand Ridge Joint Agreement dated June 10, 1996, between King County, the City of Issaquah and the predecessors of Grand, as amended, a memorandum of which is recorded under King County Recording No. 9606180756 ("Three Party Agreement").

The Three Party Agreement (Section 4.3 and Appendix K) establishes that the zoning for the portion of the Property (referred to as the "SE Rural Area" in the Three Party Agreement) within Section 25 is vested under the "G-5" zoning designation and the portion of the Property located in Section 24 is vested under the "AR-5" zoning designation and the related applicable sections of the 1989 King County Zoning Code. The Three Party Agreement also establishes in Appendix J, and the maps included with Appendix J, the applicable sensitive area buffers for the

wetlands, streams and steep slopes located in Grand Ridge Drive. The zoning, height, setback and sensitive area requirements are as follows for the lots in Grand Ridge Drive through the end of the 20-year vested period under the Three Party Agreement (i.e. until June 9, 2016):

Lot #	Zoning	Bldg. Height *	Front Setback	Rear Setback	Side Setback
1-28	G-5	35	20	10	10
29-32	AR-5	35	35	35	35
33-36	G-5	35	20	10	10
37-40	AR-5	35	35	35	35

* Chimneys and appurtenances may exceed 35 feet.

GRAND-GLACIER LLC, a Washington limited liability company

By: Port Blakely Communities, Inc., a Washington corporation, its Manager

By: Judd Kirk
Judd Kirk, President

ACKNOWLEDGED:

KING COUNTY

By: Yves Dismore
Title: Supervisor, current planning
Its: Yves Dismore

STATE OF WASHINGTON)

) ss.

COUNTY OF KING)

On this 8th day of December, 2004 before me, the undersigned, a Notary Public in and for the state of Washington, duly commissioned and sworn, personally appeared JUDD KIRK to me known to be the President of Port Blakely Communities, Inc, a Washington corporation, the corporation which is Manager of GRAND-GLACIER LLC, a Washington limited liability company that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation and limited liability company, for the uses and purposes therein mentioned, and on oath stated that he is authorized to execute the said instrument.